

# NEW JERSEY EROSION AND SEDIMENT CONTROL WORKSHOP FOR MUNICIPAL OFFICIALS



# Course Workbook



New Jersey  
Training Program  
Workbook

# Course Agenda

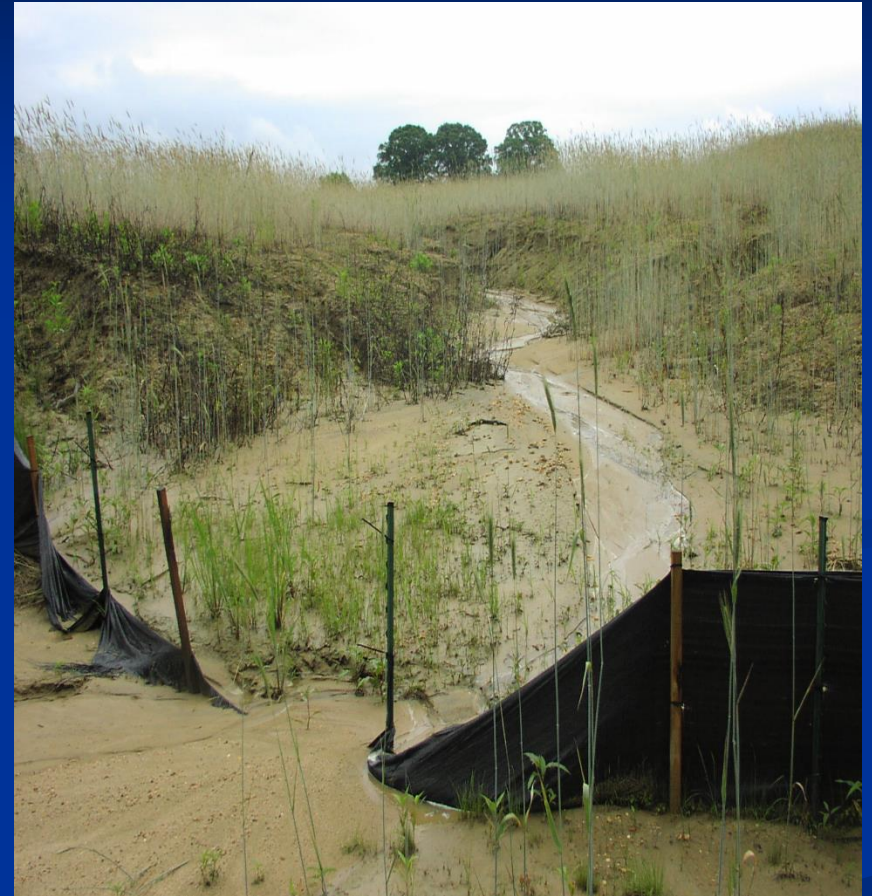
- Introduction / Law and Regulations
- Construction General Permit
- Principles of Erosion and Sedimentation
- Environmental Impacts
- Soil Erosion and Sediment Control Plans
- Soil Erosion and Sediment Control Practices
- Common Causes of Complaints
- Stormwater Management
- Implementation
- Wrap up and Discussion

# Workshop Goals

- Explain the function of the Soil Conservation District.
- Identify and discuss where District jurisdiction and responsibilities intersect with Municipal jurisdiction and responsibilities.
- Identify and discuss where improvements can be made at these points of intersection.

# What the District Does

- In 1975 the NJ Legislature determined sediment to be a source pollution and soil erosion to be a serious problem throughout the State.
- The District reviews, and approves, Soil Erosion and Sediment Control Plans for proposed development with the intent to minimize soil loss to offsite locations during construction and soil erosion after construction.
- The District inspects the active construction projects to verify that these plans are adequately implemented.



# Soil Erosion and Sediment Control Act

Chapter 251, P.L. 1975  
(N.J.S.A. 4:24-39 et seq.)

Administrative Rules  
N.J.A.C. 2:90-1 et seq.

**Soil Conservation District** – Special purpose subdivision of the  
New Jersey Department of Agriculture. Not a County agency

# Ch 251 and Rules Require

Application must be submitted for all projects.

Definition of “Project” includes:

- Disturbance of more than 5,000 sq/ft/land...
- Demolition of 1 or more Structures (with soil disturbance)
- Construction of Parking Lot
- Construction of Public Facility
- Ball fields/Recreation Facilities
- Mining/Quarrying Activities
- Clear/Grading Land-non Ag/Horticulture
- Importing, Exporting or Stockpiling Soil

# Important Definitions and Acronyms



## ■ Certification

- A written endorsement of a plan for soil erosion and sediment control by the local Soil Conservation District or DOT which indicates that the plan meets the standards promulgated by the State Soil Conservation Committee. Certifications are valid for **3 ½ years after which plans can be administratively re-certified.**

## ■ Soil Disturbance

- Any activity involving the clearing, excavating, storing, grading, filling or transporting of soil or any other activity which causes soil to be exposed to the danger of erosion.

## ■ Project

- Any disturbance of more than 5000 square feet of the surface area of land for construction, demolition, mining, quarrying, clearing or grading other than for agricultural purposes. **Regardless of buildings or structures.**

## ■ Soil Conservation District (SCD)

- An agency with responsibilities for the implementation of various elements of the statewide erosion and sediment control program

## ■ Standards - Standards for Soil Erosion and Sediment Control - Handbook of erosion and sediment control BMPs

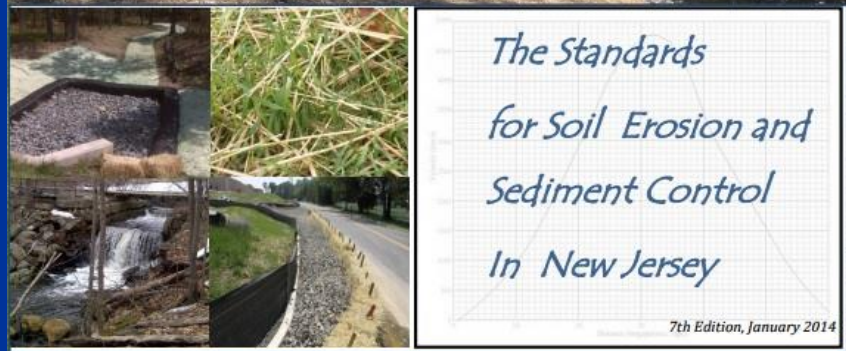
## ■ BMP – Best Management Practice (i.e. silt fence, sediment basin)

## ■ NJPDES - NJ Pollutant Discharge Elimination System

# Standards for Soil Erosion and Sediment Control in N.J.



- 10 Vegetative Standards
- 25 Engineering Standards
- 11 Technical Appendices
- Based on Physical-Topo — Watersheds of the Areas
- Engineering Bulletins
- Policies
- State-of-the-Art in Soil Erosion and Sediment Control/Stormwater Mgt




# Exempt Activities

- Less than 5,000 sq/ft of soil disturbance
- One single-family home on a lot subdivided prior to 1976.
- Additions to Existing Homes (Decks, Pools, Gardens, Septic Systems, Koy Ponds, etc.) if less than 5,000 sq./ft.
- Hazardous Waste Sites (covered by NJDEP or EPA)
- NJDOT
- Cultivation of Land for Agriculture/Horticultural Purposes
- Exemption is Subject to District Determination.
- A Letter of Exemption will be provided to the requesting applicant for presentation to the Municipality.

# Plan Certification

- Five copies of the plans are stamped & distributed
- A Transmittal Sheet serves as our “Permit”
- One copy of each is sent to the Construction Official and one to the Township Engineer.
- Two copies are sent to the design engineer, including the “Site Copy” of the plans
- Owner/Applicant gets the Transmittal Form only
- Contact the District if there are any discrepancies

**BURLINGTON COUNTY SOIL CONSERVATION DISTRICT**  
1971 Jacksonville - Jobstown Road, Columbus, NJ 08022  
Tel: (609) 267-7410 Fax: (609) 267-3347



**TRANSMITTAL SHEET**  
for  
**SOIL EROSION AND SEDIMENT CONTROL ACT**  
Chapter 251, P.L. 1975, as amended  
(N.J.S.A. 4:24-39 et. seq.)

To: Application No. \_\_\_\_\_  
Estate \_\_\_\_\_ Lot \_\_\_\_\_  
Project Name \_\_\_\_\_  
Municipality \_\_\_\_\_

☒ Certified  
☐ Conditions by Certified  
☐ Denied  
☐ More Information is required

The enclosed soil erosion and sediment control plan is: \_\_\_\_\_

Comments: \_\_\_\_\_

We find this Soil Erosion and Sediment Control Plan effective for the site and in accordance with the requirements of Chapter 251, P.L. 1975. Certification of this plan is for Soil Erosion, Sedimentation, and related Stormwater Management. Controls specified in this plan. It is not authorization to engage in the proposed land use unless such use has been previously approved by the municipality or other controlling agency. In no case shall this approval extend beyond three and one half years, at which time resubmission and certification by the district will be required.

Site inspections will be made to this plan and any changes may void this certification.

A statement of compliance must be obtained from this office prior to the issuance of a certificate of occupancy on the use of this facility.

Any conveyance of this project or portion thereof shall be considered a substantial change unless the district office is given written notification of the conveyance indicating new owner(s), address of owner(s), address change, and agent responsibility during construction.

**Authorized Signature** \_\_\_\_\_ **Date:** \_\_\_\_\_

**DISTRIBUTION:** ☐ Municipal Construction Official  
☐ Project Engineer  
☐ District  
☐ Assistant

☐ Township Engineer  
☐ Planning & Zoning Board

# Sample Exemption

BURLINGTON COUNTY SOIL CONSERVATION DISTRICT  
1971 Jacksonville – Jobstown Road, Columbus, NJ 08022  
Tel: (609) 267-7410 Fax: (609) 267-3347



September 18, 2019

City of Burlington  
Attn: David Ballard  
525 High Street  
Burlington City, NJ 08016

RE: — East Federal Street  
Block: — Lot: —  
Burlington City, New Jersey

Dear Mr. Ballard,

The Burlington County Soil Conservation District has reviewed your submittal for a Soil Erosion and Sediment Control Plan exemption.

Based on the documents provided to this office on August 26, 2019, the District does concur that the overall soil disturbance will be below the threshold that would require a formal submittal of a plan for erosion control approval.

Therefore, you are exempt from applying for a certified soil erosion and sediment control plan at this time.

It should be noted that if the proposed disturbance becomes larger than that which is represented on the site plan, and/or the soil disturbing activity during actual construction exceeds 5,000 square feet, all work will cease until an application is submitted and approved for the referenced property.

Please contact this office at your earliest convenience if you have any questions regarding this matter.

Sincerely,

Robert Reitmeyer  
District Manager

C: File



Construction General  
Permit (NJ0088323)  
NJDEP

# Permit Needed for Sites with 1.0 Acre or More of Soil Disturbance

- Required by NJDEP pursuant to the Federal Clean Water Act
- Once plans are certified by the SCD, applicant must apply to NJDEP online – RFA (5G3 Permit)
- Application form and fee only – No engineering plans
- Requires additional measures to control non-sediment discharges from construction sites.
- SCD performs inspections, but potential deficiencies are referred to NJDEP Enforcement.

# Construction Site Waste Control



1. Material Management to Prevent or Reduce Waste
2. Waste Handling
3. Spills: Discharges of Hazardous Substances:  
Federally Reportable Releases

# Material Management



- Store materials (fuels, lubricants, fertilizers, solvents, cleaners, etc) in containers in a dry covered area
- Follow manufacturers recommended application rates and procedures















# Self Inspections and Reporting

- Routine Inspections (At least weekly)
- Annual Inspection Report and Certification
- Reports of Noncompliance

Annually if not reported under N.J.A.C.7:14A-6.10

Above documents kept on site – not submitted to NJDEP

- Notification of Completion submitted to NJDEP after the Report of Compliance is issued by the SCD

# Contact Information



**Daniel Kuti**

**Bureau of Nonpoint Pollution Control**

**(609) 633-7021**

<http://www.state.nj.us/dep/dwq/constrfs.ht>



# PRINCIPLES OF EROSION AND SEDIMENTATION



- Erosion: the process of the land's surface being worn away by
  - Wind
  - Water
  - Ice
  - Gravity
- Water-generated erosion is the most severe type
- Some erosion is natural or geologic

# FACTORS INFLUENCING EROSION



Soils



Vegetative Cover



Slopes



Rainfall

# SEDIMENTATION

The deposition of soil particles as flow decreases



Sediment is carried off site



Coarse particles are deposited in the stream



Fine particles are carried downstream....



.... And out to the lake, bay, etc.

# BEFORE CONSTRUCTION BEGINS



- Natural landscapes suffer minimal erosion
- Vegetation shields soil from raindrops, slows down overland flow, promotes infiltration and holds soil in place
- Streams are fed primarily by groundwater flow

# DURING CONSTRUCTION



- Changes to the landscape are visually striking
- Even when construction is short in duration, much damage can occur

# AFTER CONSTRUCTION



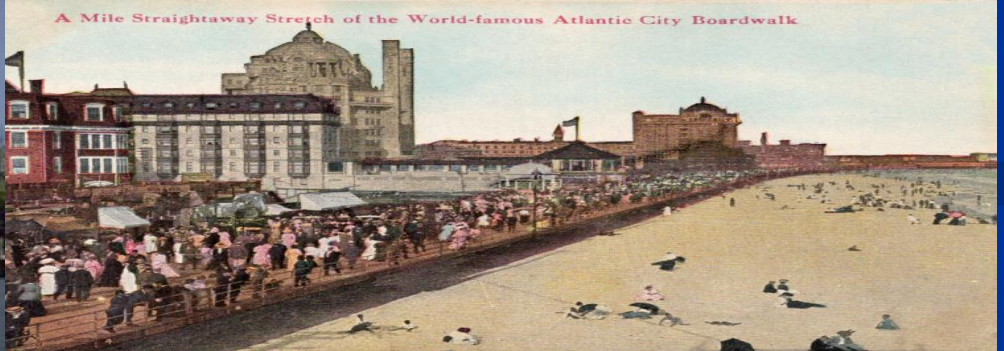
- Soil is stabilized with vegetation
- Stormwater is directed into stable conveyances and holding areas (ponds)

# Environmental and Economic Impacts of Soil Erosion and Sedimentation



# New Jersey Water Uses

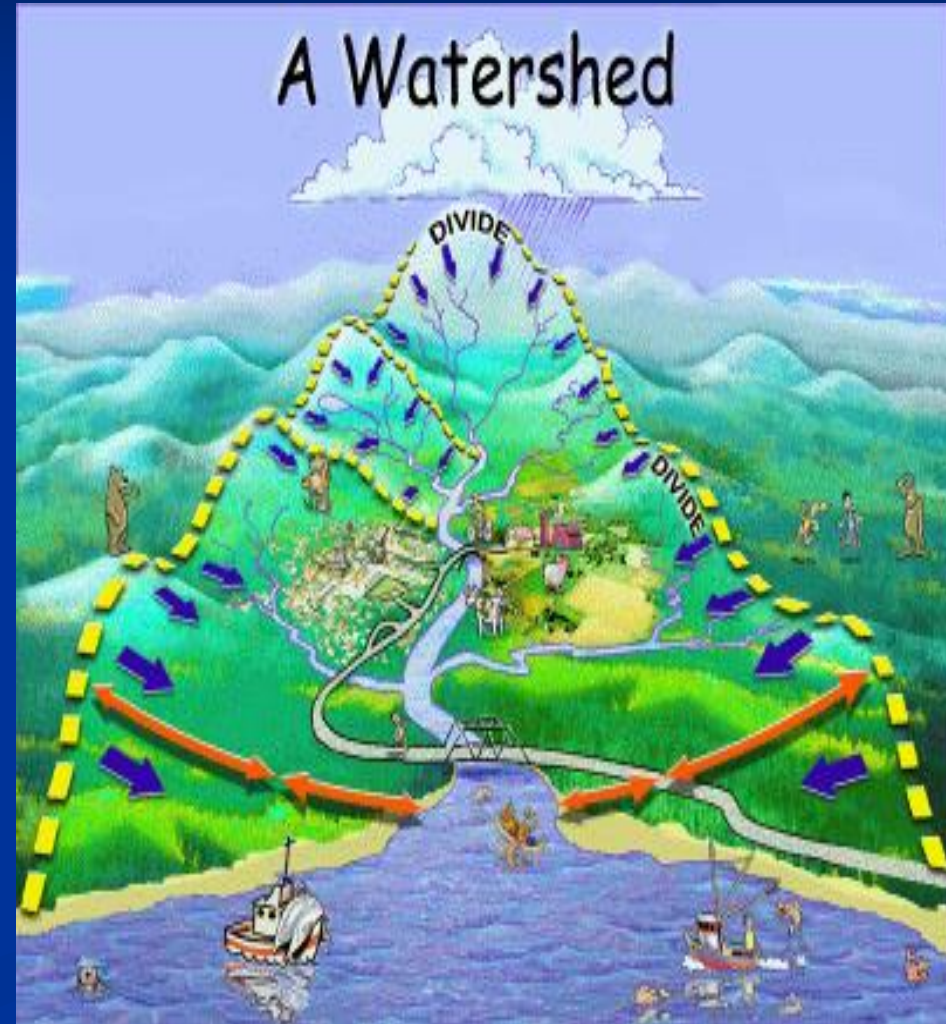
- Recreational
- Drinking water supplies
- Commercial fishing and shell fishing
- Tourism



# Valuing New Jersey's Natural Capital:

NJDEP April 2007

- The annual value of the ecoservices provided by New Jersey's natural capital is estimated at between \$8.6 billion/year (present value \$288 billion) and \$19.8 billion/year (present value \$660 billion): Freshwater wetlands and marine ecosystems
- The annual value of the goods provided by New Jersey's natural capital is estimated at between \$2.8 billion/year (present value \$93 billion) and \$9.7 billion/year (present value \$322 billion): Farmland, marine waters, and mines and quarries
- Taking the values of goods and services together, the total value of New Jersey's natural capital is estimated at about \$20 billion/year (present value \$681 billion), plus or minus \$9 billion/year (present value \$300 billion).



# Valuing New Jersey's Natural Capital:

Recreation: Division of Science, Research and Technology, NJDEP

- \$1.2 billion annually (in 2004 dollars) or \$38.5 billion in present value terms (based on an annual discount rate of 3% in perpetuity)
- The benefits also include creation of more than 7,000 jobs.
- Direct benefits from recreation/tourism: about \$304 million annually
- Benefits from the indirect economic activity supported by private sector recreation and tourism expenditures: about \$289 million of total sales per year
- Benefits from the indirect economic activity supported by public sector capital and operating expenditures: about \$58 million of total sales per year
- Benefits from ecosystem services (e.g., watershed protection/hydrological services, wildlife/ biodiversity conservation, carbon sequestration and storage, soil erosion control, and groundwater protection): about \$498 million per year
- Potential benefits of consumption goods (such as timber: about \$6 million annually).

# Economic Importance of the Delaware River Basin

Figure 1.1: Delaware River Basin/Estuary Location Map



- 9 million people live within the Delaware River Basin.
- System supplies water to 15.2 million people.
- More than 2,500 large vessels per year visit ports.
- Supplies approximately 70% of the petrochemical gasoline and heating oil needed to fuel the East Coast.
- Annual worth = \$19 billion in annual revenue.

# Soil Erosion Rates \*



Land Use	Erosion Rate Tons/SqMi/Yr	Ratio Relative To Forest
<b>Forest</b>	<b>24</b>	<b>1</b>
Grassland	240	10
Abandoned Surface Mine	2,400	100
<b>Cropland</b>	<b>4,800</b>	<b>200</b>
Harvested Forest	12,000	500
Active Surface Mine	48,000	2,000
<b>Construction</b>	<b>48,000</b>	<b>2,000</b>

\* Canter, Larry Environmental Impact Assessment, McGraw Hill, 1977

# Sediment Transport



- Onsite sediment deposition
- Offsite sediment damage
- Local sediment impacts
- Regional sedimentation

# Economic Costs of Sedimentation



## Cleanout

- National Flood Insurance:
- Flood Insurance in NJ totaled \$266 million.
- FEMA will cover 75% of property damage, NJ/Local covers 25%.



## Flooding

- National Flood Insurance:
- Flood Insurance increases approximately 4.6% annually.



## Dredging

- NJ Dept. of Labor:
- The average (for mechanical excavation) cost is approximately \$75,000 per acre.

Failed, or missing inlet protection, leads to clogged pipes and vacuum costs.



# Sediment accumulation can lead to costly basin cleanouts



# Downstream Sedimentation and Turbidity



# Environmental Impacts Summary



- Increased turbidity reduces photosynthesis
- Impacts to aquatic insects
- Impacts to fish
- Impacts to habitat



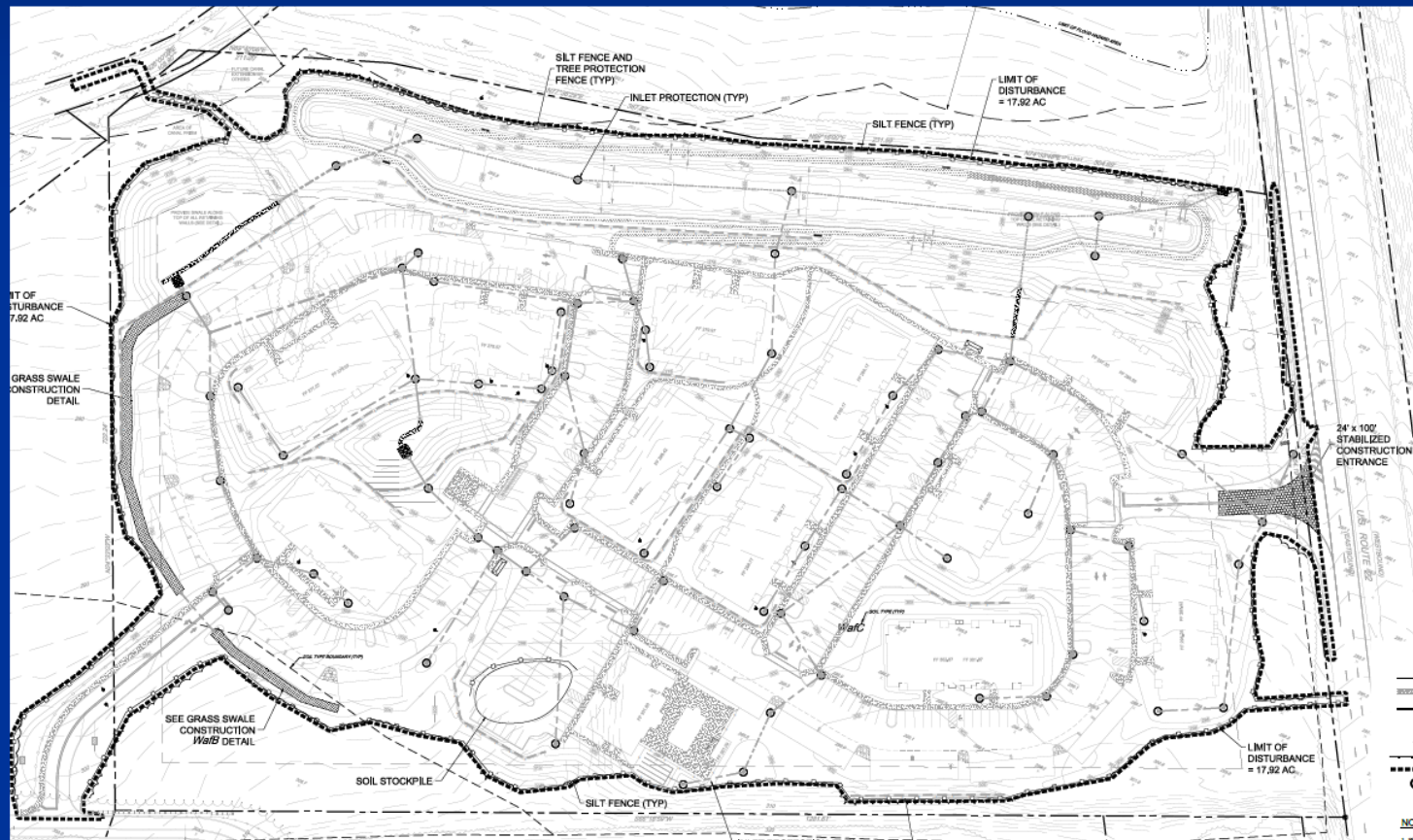
# Soil Erosion and Sediment Control Plans in New Jersey

- Required on almost all land disturbing activity over 5,000 square feet
- If you are not sure, contact your local District to have them make a determination.
- Plan must be Certified by local SCD
- Plans valid for 3 1/2 years
- Revisions to the plans require approval
- Certifications can be extended

# Approvals

- The plan must be certified by the local Soil Conservation District prior to land disturbance.
- A Certified E&S Plan by itself is just one of the items necessary to begin construction.
- All local and State permits must be obtained.
- The last revision date must match the date on the certified soil erosion control plan.
- If any proposed revisions impact soil erosion and sediment control, revised plans must be submitted to the SCD for re-certification.
- The District requires 72 hours notice prior to beginning land disturbing activities.

# Erosion and Sediment Control Plan View



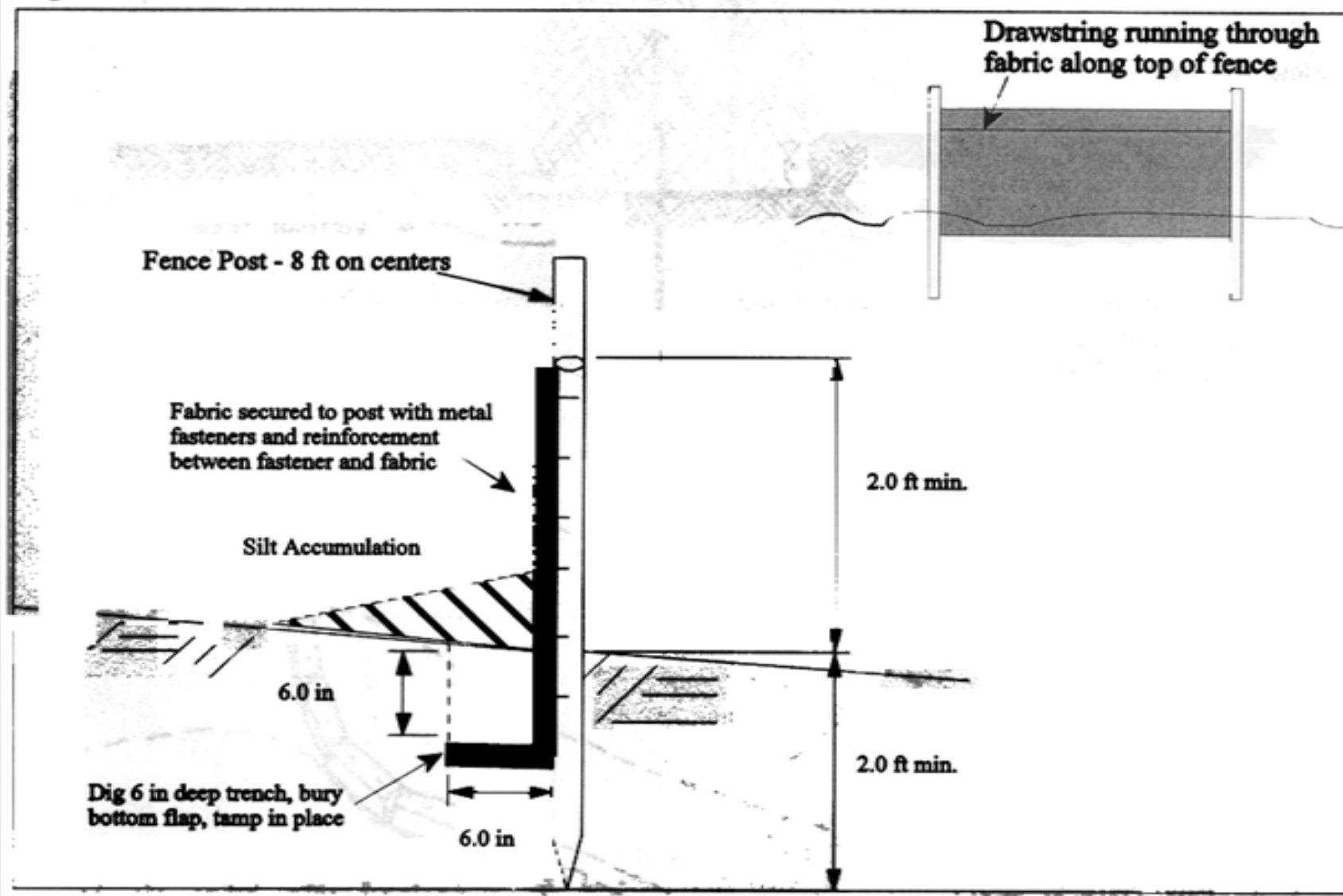


# Standards, Details and Specifications



- The “how to”, as far as constructing the best management practice
- Correct installation and dimensions
- Some practices are site specific.
- Refer to the Standards as a backup

Figure 25-2. Silt Fence construction and installation detail



# Soil Erosion and Sediment Control Practices



- All runoff must pass through a sediment removal BMP
- Practices must be fully functional before land disturbance
- Proper materials and installation are critical

# Construction is Messy!



# Sediment Barriers

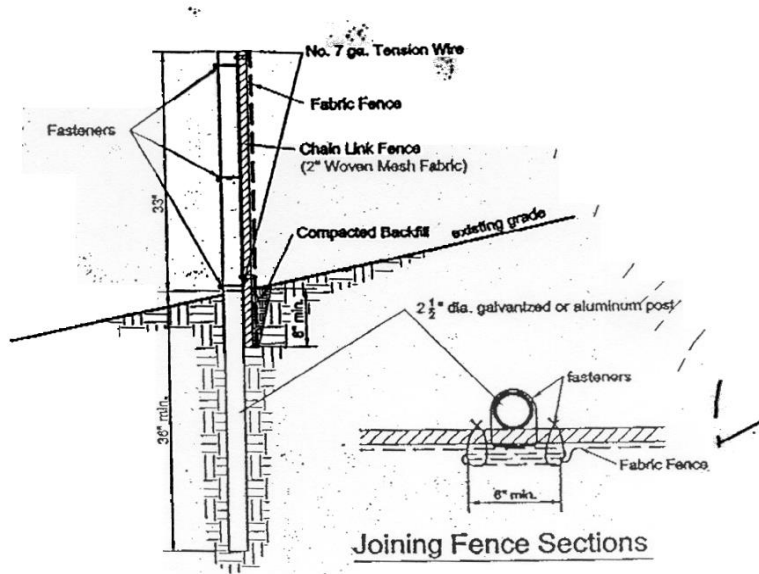
## ■ Types:

- Silt Fence
- Reinforced Silt Fence
- Hay Bales
- Silt Socks
- Other (new products)





# 'Super Silt Fence'



## Notes

1. 2 1/2" dia. galvanized or aluminum posts to be spaced @ 10' max.
2. Chain link to post fasteners spaced @ 14" max. Use No. 6 Ga. aluminum wire or No. 9 galvanized steel pre-formed clips. Fabric to chain link fence fasteners spaced @ 24" max.  $Q_1$  to  $Q_2$ .
3. No. 7 Ga. Tension Wire installed horizontally at top and bottom of chain-link fence. Chain link to tension wire fasteners spaced @ 60" max. Use No. 10 Ga. galvanized steel wire.
4. Filter Fabric Fence must be placed at existing level grade. Both ends of the barrier must be extended at least 8 feet upslope at 45 degree angle to main barrier alignment.
5. Sediment must be removed when accumulations reach 1/2 the above ground height of the fence.

## Super Silt Fence Detail

Not to Scale



# Hay Bale Sediment Barrier

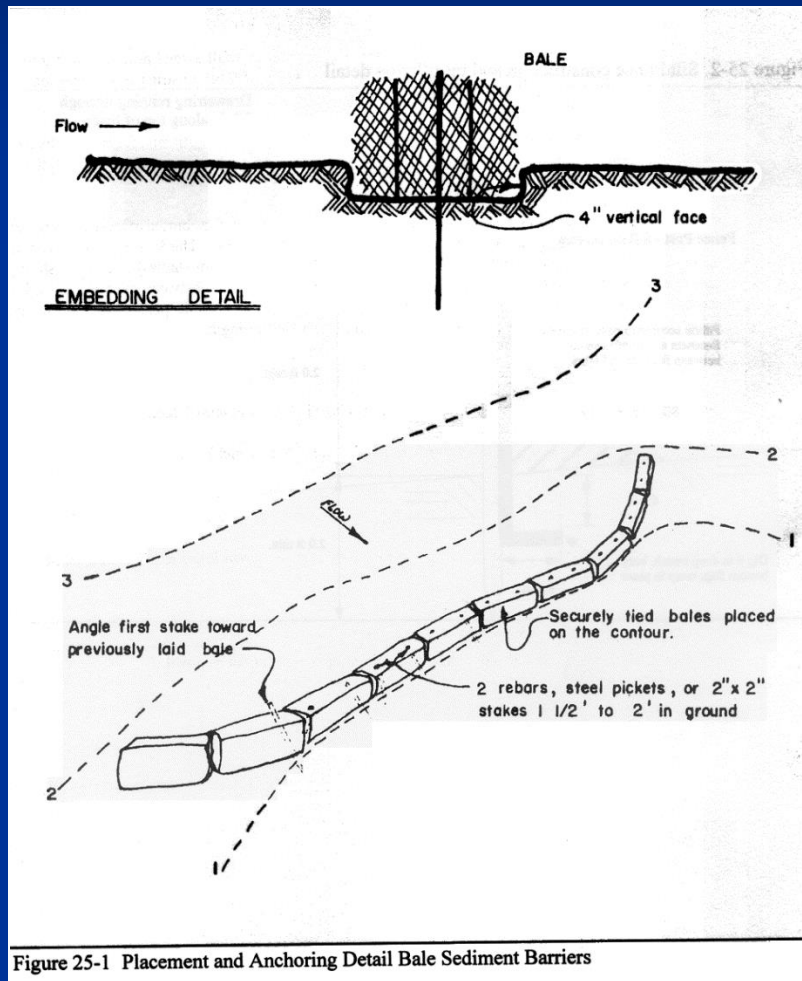
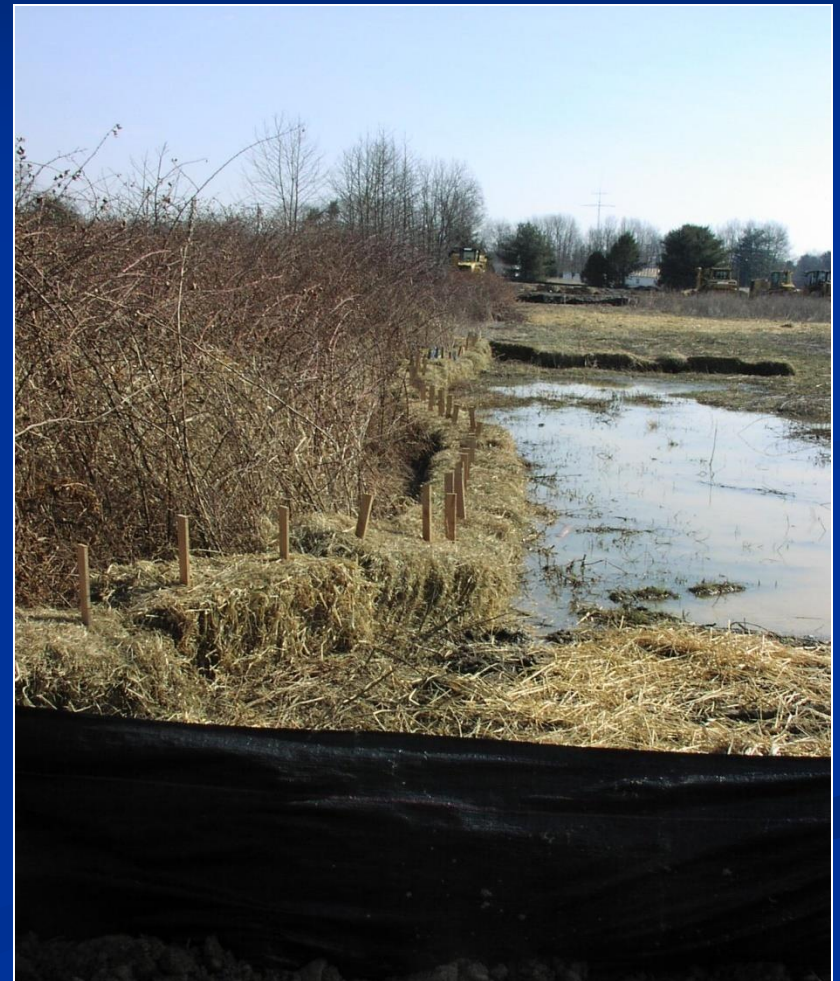


Figure 25-1 Placement and Anchoring Detail Bale Sediment Barriers



# Sediment Barrier Misapplication



# Stabilized Construction Access



- Length requirements dependant upon approach length, slope, and soil type
- Stone Size – ASTM C-33, size No.2 (2.5 – 1.5”) or No. 3 (2 – 1”)
- May need a paved buffer area between the end of the pad and a major highway
- Filter fabric can prevent stone migration into the subsoil
- Can use broken concrete

# High Acid Producing Soils



# Treatment of High Acid Producing Soils

- Soils must be tested for pH. District has pH meter to assist in this determination.
- Acid producing soils shall be buried and covered with a minimum of 12" of good soil. 24" where trees or shrubs are planted.
- Follow Acid Soil Mitigation Plan
  - Soil used as cover MUST have a pH > 5.0
- Limestone Application
  - 6 tons/acre over the acid soil deposit. Limestone alone CANNOT be used to neutralize acid soil

# Dust Control:

Provide vegetative stabilization

Provide mechanical control of dust and soil blowing

Dust control measures are on the plans.



# Sediment Basins

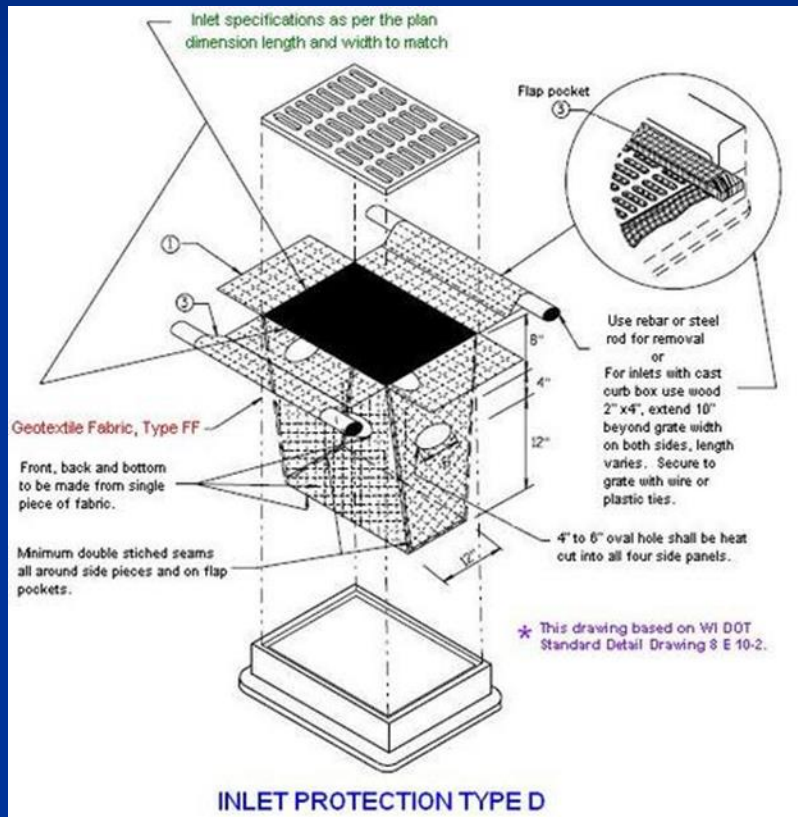


LAST LINE OF DEFENSE

# Conduit Outlet Protection



# Storm Sewer Inlet Protection



- Purpose: To filter sediment from stormwater prior to entering the storm drain
- In all cases the protection should not totally close off the inlet
- Filter Fabric is not permitted

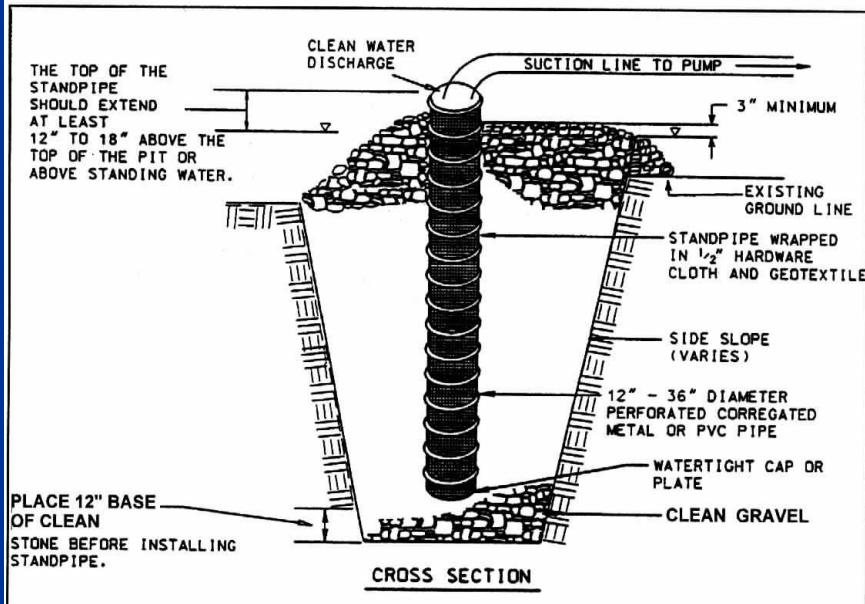
# Correct Inlet Protection



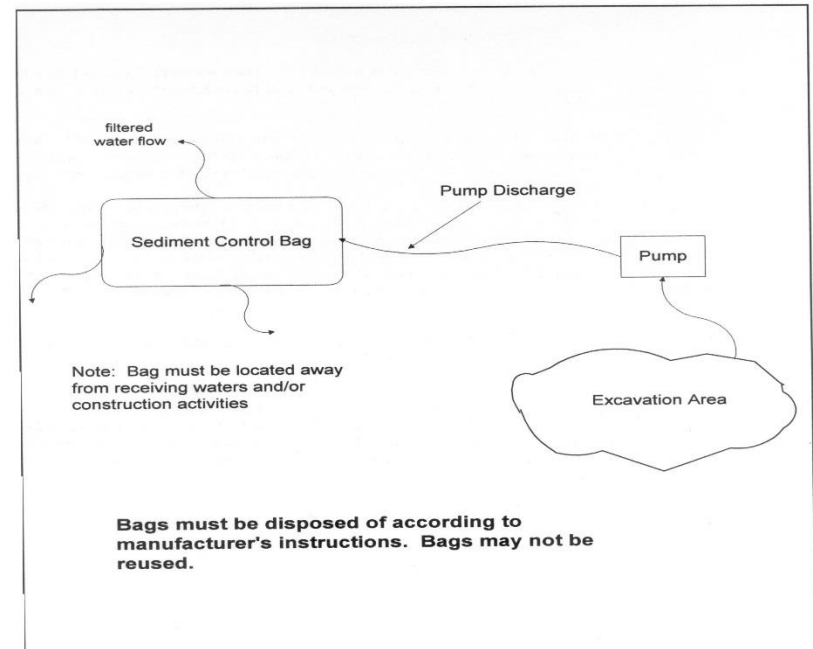
# Dewatering: Proper Sediment Filtration

- Intake point **must** have proper filtration
- Discharge point **must** have proper filtration

**Detail 14-2: Sump Pit**



**Detail 14-4 Sediment Control Bag for Dewatering**



Source: NJDA SSCC 1999

# Dewatering: Proper Discharge Filtration

- Must discharge to a stable location
  - Should **not** be located near critical areas
- Additional sediment control measures may be necessary for optimal performance



# Dewatering: Improper Installation Resulting in Offsite Sedimentation



# Manufactured BMPs



# MAINTAIN BMPs



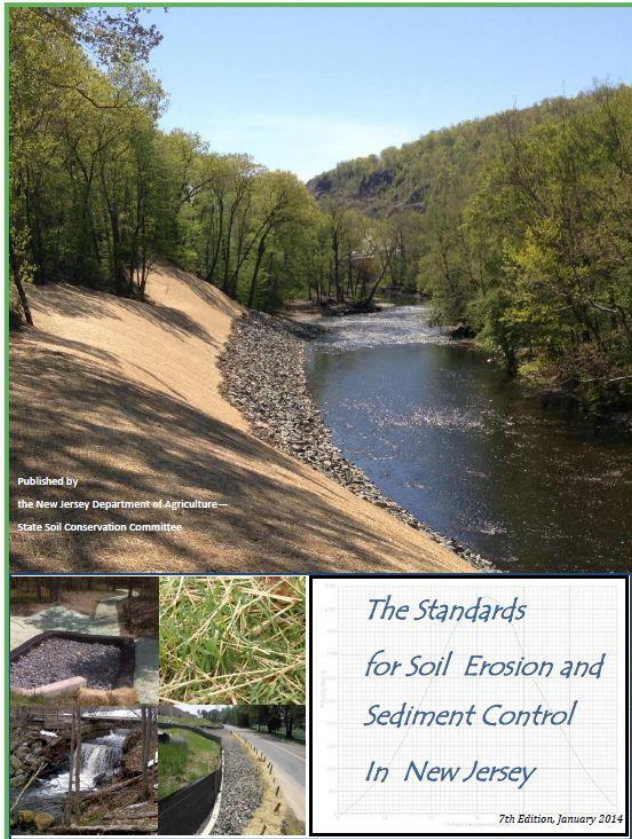
- All BMPs require maintenance
- Proper installation is only the first step
- Inspected on a regular basis and after every rain
- District staff will be inspecting to ensure that proper maintenance has been done



# Reduce Compaction



# SESC Standards



- Standard for Land Grading
  - Testing for excessive soil compaction where permanent vegetation is to be established and mitigation of excessive soil compaction when appropriate
- Standard for Topsoiling
  - Specifications for topsoil depth and organic matter

# Certain disturbed areas will not require Compaction Remediation



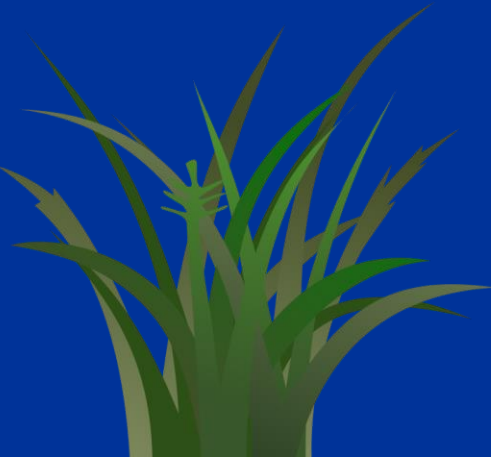
- Within 20 feet of building foundations with basements, 12 feet from slab or crawl space construction.
- Where soils or gravel surfaces will be required to support post-construction vehicular traffic loads such as roads, parking lots, and driveways (including gravel surfaces), bicycle paths or pedestrian walkways (sidewalk etc.)
- Airports, railways or other transportation facilities
- Avoid Utilities at all costs!

# Topsoil



- 5" of topsoil firmed in place
- 2.75 % organic matter required for imported topsoil

# The Vegetative Standards



# The Steps For Successful Stabilization

- Site Preparation
- Soil Additives
- Seed Application
- Mulching and Mulch Anchoring
- Maintenance



# Mulching and Mulch Anchoring



- Essential for all seeding
- Provides protective cover and retains moisture
- Straw mulch is the preferred material
- 2 tons/acre
- Two-step method is preferred (Seed, then mulch and anchor)
- Must always be anchored
  - ✓ Crimping
  - ✓ Tackifier



# Permanent Vegetative Cover for Soil Stabilization

- Establishment of permanent vegetative cover on exposed soils where perennial vegetation is needed for long term protection.
- Needed for most R/C's.





# Common Causes of Complaints



- Soil Tracking
- Dust
- Inlet protection
- Lack of sediment Control
- Dewatering
- Drainage
- Constituent Services!

# Soil Tracking



# Dust Control Not Implemented



# Improper Inlet Protection



# Lack of Sediment Control



# Perimeter Sediment Barriers



# Dewatering



# Drainage



- Drainage is typically the jurisdiction of the Municipality.
- The District will seek to address any sediment content from a “Project”.

# District response to Complaints

- Complaints are typically from neighboring residents or municipal officials.
- Typically received via phone call or emails. Some are forwarded from the NJDEP.
- Complaints are kept anonymous and are followed up with a site inspection for compliance.
- Once the site in question is identified District staff will contact the site representative and request that a self inspection be performed prior to an inspection by District personnel. In many cases this will quicken the completion of any necessary cleanup.
- District personnel will determine the validity of a complaint and determine the appropriate course of action.

# Stormwater Management



During Construction: Soil Conservation District

Post Construction: Municipalities

# Traditional Approaches



- Wet Ponds
- Dry Extended Detention Ponds
- Infiltration
- Green Technology (Bioretention)
- Underground Basins

# Early Stage of Construction



# Basin with retaining walls



# Later stages of completion



# Bioretention Basin



# Infiltration Basin



# During Construction: Sediment Basins



# Sediment Basins

Constructed in accordance with the certified Soil Erosion and Sediment Control Plan

- Constructed and permanently stabilized early in the building process
- Typically the same location as permanent stormwater basin
- Must be vegetatively stabilized before receiving stormwater
- Continually maintain throughout construction
- Sometimes over- or under- excavated; i.e. infiltration basins
- Often contain a temporary sediment filter - riser
- Convert to permanent stormwater management facility when drainage area is stabilized

# Temporary Risers



# Floating Riser / Skimmer



# Stone Filter



# Municipal Separate Storm sewer (MS4) Compliance Services offered by the District

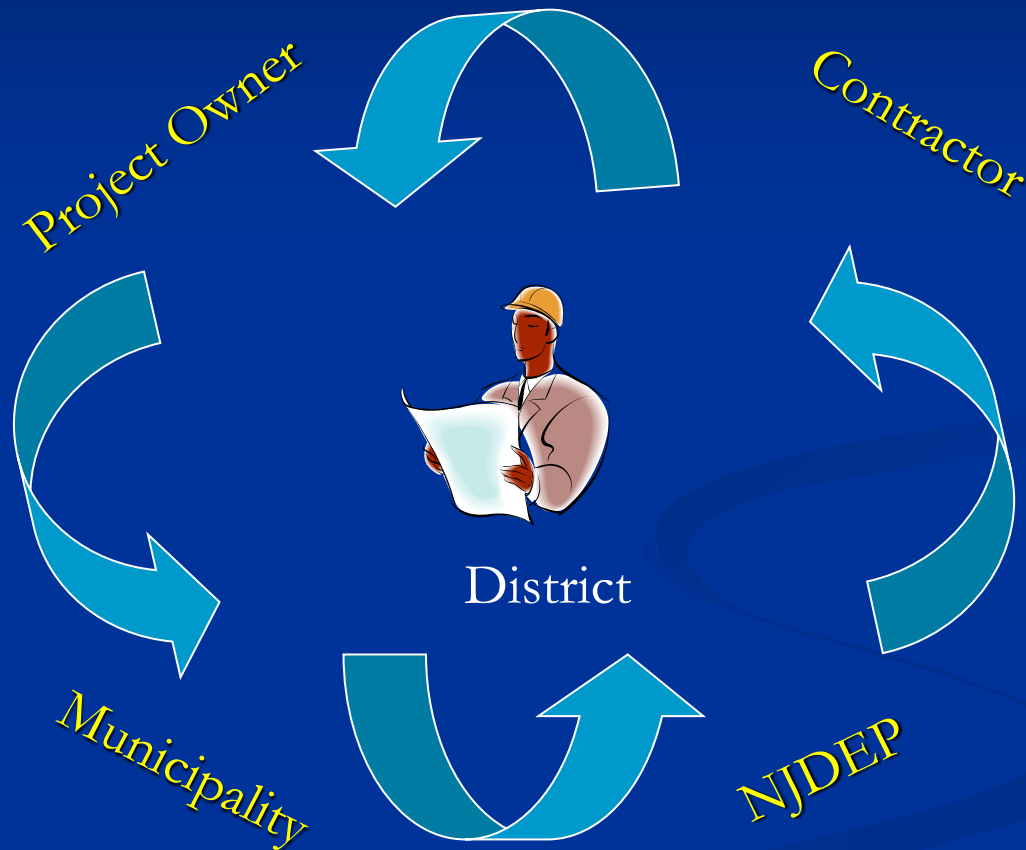
- District can inspect stormwater facilities owned by the Municipality.
- District can inspect privately owned stormwater facilities.
- District can map stormwater structures and facilities.



# Implementation of the Act

- To ensure that all appropriate construction has an approved plan
- To ensure that every active site is inspected for compliance with the approved plan on a regular basis
- To communicate the results of the inspection to all responsible personnel
- To ensure that all deficiencies are corrected
- Priority sites we try to inspect every week

# Communication



# Preconstruction Approvals

- The plan submittal should occur while approvals from Municipal Planning Board / Zoning Board are being pursued.
- Municipal Construction Permits should not be issued until the District has certified the Soil Erosion and Sediment Control Plan.
- The NJDEP 5G3 permit can not be granted until the District has approved the SE&SC plans.

# Preconstruction Meeting

- Meet key people involved in the project
  - Contractor, Subcontractor, Utilities, Owner/Developer, Local Inspector, Other Agencies.
- Exchange contact information for all persons connected with the project.
- Review the plan requirements for E & S Controls.
- Review required sequence of construction.
- Meeting is an opportunity to highlight critical areas.
- District may hold a separate meeting on site to more closely review potential problem areas.


# Compliance and Enforcement

- District Conducts periodic Compliance Inspections.
- We then convey all necessary required actions to the responsible party.
- Failure to Implement Erosion Practices may Result in an Inspection Report, Violation Notice or even a Stop Work Order.

# Inspection Report

- Inspection Reports are used to document the current status of the project
- Can be used to identify needed corrections
- Can be used to document compliance with approved plans at interim stages of development
- Can be used as warning that a Notice of Violation may be issued if identified deficiencies are not corrected.

**BURLINGTON COUNTY SOIL CONSERVATION DISTRICT**  
Jacksonville—Jobstown Road, Columbus, NJ 08022  
Tel: (609) 267-7410 Fax: (609) 267-3347



**Erosion and Sediment Control  
Inspection Report**

Inspector: \_\_\_\_\_ Project / Site Name: \_\_\_\_\_  
Date: \_\_\_\_\_ Location: \_\_\_\_\_ Application #: 251

(N/A) Not Applicable (S) Satisfactory (U) Unsatisfactory

1. Stabilized Construction Access:	7. Silt Fence:
2. Diversions/Swales:	8. Sediment Basins
3. Conduit Outlet Protection:	9. Inlet protection
4. Vegetative Stabilization:	10. Stone Check Dams:
5. Stormwater Management Facilities:	11. NJPDES / RFA:
6. Paved Roadways:	12. Off-site Sedimentation:

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Action to be taken:**

Correct Noted Deficiencies	Completion Date
Submit Plan Modifications	Completion Date
Other	


No Certificate of Compliance will be issued until all of the above items have been completed

Issued by: \_\_\_\_\_ Date: \_\_\_\_\_

# Notice of Violation

- Used to document that the requirements of the Soil Erosion and Sediment Control Plan are not being adhered to.
- Will specifically identify deficiencies and a time frame for correction.
- May also be used to identify that regulated soil disturbing activity has occurred prior to District approval.
- A copy of this document is always provided to the Municipal Construction Official.

BURLINGTON COUNTY SOIL CONSERVATION DISTRICT  
Jacksonville – Jobstown Road, Columbus, NJ 08022  
Tel: (609) 267-7410 Fax: (609) 267-3347



**VIOLATION NOTICE**

TO: \_\_\_\_\_ MUNICIPALITY: \_\_\_\_\_  
PROJECT: \_\_\_\_\_ APPLICATION NO.: \_\_\_\_\_  
BLOCK: \_\_\_\_\_ LOT: \_\_\_\_\_

You are hereby advised of your violation of N.J.S.A. 4:24-39 et. seq., the Soil Erosion and Sediment Control Act, Chapter 251, PL 1976. Said violation arises from your failure to comply with the requirements of the Soil Erosion and Sediment Control Plan certified by the Burlington County Soil Conservation District for the above project. The deficiencies found by an inspection on \_\_\_\_\_ are as follows:

<input type="checkbox"/> Construction Entrance	<input type="checkbox"/> Headwall Stabilization	<input type="checkbox"/> Certificate of Conditional Compliance Expired
<input type="checkbox"/> Inlet Protection	<input type="checkbox"/> Grading Side Slopes	<input type="checkbox"/> Disturbance Prior to Approval
<input type="checkbox"/> Sediment Barrier	<input type="checkbox"/> Temporary Seeding	<input type="checkbox"/> Failure to Secure Certificate of Compliance
<input type="checkbox"/> Detention/Retention Basin	<input type="checkbox"/> Permanent Seeding	<input type="checkbox"/> Off-Site Sedimentation
<input type="checkbox"/> Swales	<input type="checkbox"/> Mulching	<input type="checkbox"/> Outlet Protection
<input type="checkbox"/> Other: _____		

REMARKS:  
**A \$250.00 non-compliance fee has been assessed. Your immediate attention is needed in this matter.**

c: file  
Building Inspector



*Your failure to take immediate corrective measures to resolve these violations will result in the filing of a complaint against you under the provisions of N.J.S.A. 4:24-53, the Penalty Enforcement Law where in you may be subject to fines up to \$3,000.00 for each and every day during which said violation continues, each day constituting an additional separate and distinct offense. This notice requires your immediate attention.*



Date: \_\_\_\_\_ Authorized Signature: \_\_\_\_\_

# Reports of Compliance

- Required before any Certificate of Occupancy or Temporary Certificate of Occupancy is issued by a Municipality
- For Municipal projects such as ballfields it can be used to document that the project has been completed in compliance with the approved plans ie, topsoil is acceptable.
- Types of Compliance
  - Conditional Report of Compliance (CRC)
  - Winter Conditional Report of Compliance
  - Report of Compliance – No Conditions (ROC)
  - Final Report of Compliance

# D.C.A. Bulletins

	<p>State of New Jersey Department of Community Affairs Division of Codes and Standards PO Box 802 Trenton, New Jersey 08625-0802</p>		<p>BULLETIN NO.  91-2</p>
Richard J. Gelsky Acting Director	Susan Jane Levin Commissioner		
<p>Issued: December 31, 1991 Supersedes Bulletin No. 84-3 Revised: June 2005</p>	<p>Subject: Compliance with Requirements of the Soil Erosion and Sediment Control Act</p>		
	<p>Reference: N.J.A.C. 4:23-39 et seq. N.J.A.C. 5:23-1.4</p>		
<p>Effective implementation of the Soil Erosion and Sediment Control Act of 1975, as amended, depends upon cooperation between municipalities and the local soil conservation districts. A developer frequently becomes aware of the requirements of the Soil Erosion and Sediment Control Act only when he or she approaches a municipality for development approval. Without cooperation between municipalities and soil conservation districts, securing compliance with the Soil Erosion and Sediment Control Act becomes very difficult.</p>			BULLETIN
<p>For a project covered by the Soil Erosion and Sediment Control Act, a construction permit should not be issued unless a soil erosion and sediment control plan has been certified by the local soil conservation district. In addition, no certificate of occupancy should be issued upon completion of the project without a report of compliance from the soil conservation district. In municipalities that have a soil erosion and sediment control ordinance approved by the State Soil Conservation Committee, the required permit, plan, certifications and reports of compliance must be issued by the responsible municipal official. A Temporary Certificate of Occupancy may be issued if a Report of Compliance or Report of Compliance with Conditions has been issued.</p>			
<p>The help of local construction officials in implementing this procedure is essential. Contact your local soil conservation district (see listing provided) if you need to determine whether a project is covered by the Soil Erosion and Sediment Control Act, and for additional information. Further information may be obtained from:</p>			
<p>STATE SOIL CONSERVATION COMMITTEE NEW JERSEY DEPARTMENT OF AGRICULTURE POST OFFICE BOX 336 TRENTON, NEW JERSEY 08625-0330 TELEPHONE: (609) 292-5540 FAX: (609) 633-7239</p>			

	<p>State of New Jersey Department of Community Affairs Division of Codes and Standards PO Box 802 Trenton, New Jersey 08625-0802</p>		<p>BULLETIN NO.  01-2</p>
Richard J. Gelsky Acting Director	Susan Jane Levin Commissioner		
<p>Issued: October 2001 Revised: June 2005</p>	<p>Subject: Temporary Certificates of Occupancy</p>		
	<p>Reference: N.J.A.C. 5:23-2.23, 2.24, 4.18, 4.20</p>		
<p>The Uniform Construction Code (UCC) requires code officials to issue a Temporary Certificate of Occupancy (TCO) when all utilities are in place, and the building, or specific portions of a building, can be occupied without endangering the health and safety of the occupants (N.J.A.C. 5:23-2.23). A TCO is an administrative tool that allows a building to be occupied when the building is substantially complete and when the unfinished items do not adversely impact health or safety.</p>			BULLETIN
<p>In this bulletin, the Department of Community Affairs (DCA) is providing direction on the issuance of a TCO by designating two categories of unfinished work or items that require prior approvals:</p>			
<ol style="list-style-type: none"> <li>1. those which preclude the issuing of a TCO and</li> <li>2. those which require the issuing of a TCO</li> </ol>			
<p>A TCO shall not be issued when any of the following items that are part of a construction project have not yet been provided:</p>			
<ul style="list-style-type: none"> <li>• health and life safety systems (Note: Required systems must be fully operational and, where required, systems must have been tested.)</li> <li>• sewer or septic system connection</li> <li>• water supply connection or well certification</li> <li>• electric utilities connection</li> <li>• gas utilities connection</li> <li>• New Home Warranty Termed</li> <li>• Rooming and Boarding Home license</li> <li>• Elevation Certificate in flood hazard plain</li> <li>• where required, an accessible route must be provided, although, the accessible route provided under a TCO may be temporary</li> <li>• emergency vehicle access</li> <li>• Soil Conservation Report of Compliance -- conditional or final (see Bulletin No. 91-2, Compliance with Requirements of the Soil Erosion and Sediment Control Act)</li> </ul>			

# Conditional Report of Compliance (CRC)

- For the issuance of a TCO only by the Municipality.
- Issued to commercial projects when vegetative stabilization is not completed within a growing season or before stabilization is established.
- A follow up inspection for the issuance of a Report of Compliance – No Conditions is needed prior to the release of a CO.



# Conditional Report of Compliance (CRC)



Burlington Soil Conservation District  
1971 Jacksonville-Jobstown Rd.  
Columbus, NJ 08022  
Telephone: (609) 267-7410  
Fax: (609) 267-3347



State Soil Conservation  
Committee

## REPORT OF COMPLIANCE

This certifies that the Soil Erosion and Sediment Control measures to the extent indicated comply with the Soil Erosion and Sediment Control Plans as certified by the Soil Conservation District pursuant to Chapter 251, P.L. 1975 as amended, the Soil Erosion and Sediment Control Act, (N.J.S.A. 42-39 et. seq.).

Municipality: Medford Twp

Project Name: Any Project SCD Application No.: 251

Block(s): 100 Lot(s): 1.01 Street Address: 10 Stokes Road

Block(s): Lot(s): Street Address:

Block(s): Lot(s): Street Address:

☒ CONDITIONAL COMPLIANCE\* (CRC) ☐ REPORT OF COMPLIANCE - NO CONDITIONS (ROC)

For T.C.C. only

Date: 1/11/2020

Signature of District Official:

Robert R. R. R.

Signature of Agent Responsible:

X

### \*CONDITIONS:

- ① Any areas of poor germination will be restabilized within 30 days.
- ② Any areas of erosion will immediately be repaired and restabilized.
- ③ Continue to maintain all sediment control devices.

Conditions above must be satisfied no later than

### FINAL REPORT OF COMPLIANCE

(Should attach in addition to the CRC and/or ROC. How satisfied by district official)

Date:

Signature of District Official:

Distribution:

Municipal Construction Office, Developer/Owner, District, Other

# Winter Conditional Report of Compliance (CRC)

- Issued for residential lots when vegetative stabilization is performed during the Fall/Winter non-growing season or when snow cover precludes stabilization.
- For the Issuance of a TCO only by the Municipality.
- Placement of topsoil is not required.
- An inspection for the issuance of a Report of Compliance – No Conditions is needed prior to the issuance of a C.O.



# Winter Conditional Report of Compliance (CRC)



Burlington Soil Conservation District  
1971 Jacksonville-Jobstown Rd.  
Columbus, NJ 08022  
Telephone: (609) 267-7410  
Fax: (609) 267-3347



State Soil Conservation  
Committee

## REPORT OF COMPLIANCE

This certifies that the Soil Erosion and Sediment Control measures on the project indicated comply with the Soil Erosion and Sediment Control Plan as required by the Soil Conservation District, pursuant to Chapter 25, P.L. 1972, as amended, the Soil Erosion and Sediment Control Act, (NJSA 42:24-26 et seq.)

Municipality: Mayberry Township

Project Name: Formerly Forest Acres

SCD Application No.: 25119-123

Block(s): 4

Lot(s): 11

Street Address: 13 Impervious Street

Block(s):

Lot(s):

Street Address:

Block(s):

Lot(s):

Street Address:

## ☒ UNCONDITIONAL COMPLIANCE\* (CRC) ☐ REPORT OF COMPLIANCE - NO CONDITIONS (ROC)

Date: February 2, 2020

Signature of District Official: [Signature]

Signature of Agent Responsible: [Signature]

\*CONDITIONS: A \$100.00 reinspection fee is assessed for the above listed lots.

1. Lots must be temporarily stabilized for winter with straw mulch. 90% of the soil surface is to be covered and the mulch must be tacked or anchored in place. Temporary stabilization must be completed as soon as the snow melts, or site conditions permit.
2. Lots must be stabilized with permanent vegetation in place by April 15, 2020. At which time the site will be reinspected.
3. Continue to maintain construction entrances, inlet protection and sediment basins at all times.
- 4.

Conditions above must be satisfied no later than \_\_\_\_\_

## ☐ FINAL REPORT OF COMPLIANCE

(This field is subject to audit by the CRC Audit Unit. Any errors or omissions will be directed to the District Official.)

Date: \_\_\_\_\_

Signature of District Official: \_\_\_\_\_

Distribution:

Municipal Commission Office, Developer/Owner, District Office

# Report of Compliance – No Conditions (ROC)

- For the issuance of a CO by the Municipality.
- Lot has been permanently stabilized with seed, mulch and mulch anchoring during a growing season—or sod.
- All site erosion control measures in place and maintained as per the approved plan
- Final compliance issued after completion of project and permanent vegetation sufficiently established



# Report of Compliance – No Conditions (ROC)



Burlington Soil Conservation District  
1971 Jacksonville-Jobstown Rd.  
Columbus, NJ 08022  
Telephone: (609) 267-7410  
Fax: (609) 267-3347



State Soil Conservation  
Committee

## REPORT OF COMPLIANCE

This certifies that the Soil Erosion and Sediment Control measures to the extent indicated comply with the Soil Erosion and Sediment Control Plan as certified by the Soil Conservation District pursuant to Chapter 251, N.J.A.C. 17:27 as amended, the Soil Erosion and Sediment Control Act (N.J.S.A. 4:27-39 et seq.).

Municipality: Southampton Twp

Project Name: Bob's House

SCD Application No.: 251

Block(s): 100

Lot(s): 1.01

Street Address: 14 Chairville Rd

Block(s):

Lot(s):

Street Address:

Block(s):

Lot(s):

Street Address:

☐ CONDITIONAL COMPLIANCE (CRC) ☒ REPORT OF COMPLIANCE - NO CONDITIONS (ROC)

Date: 1/11/2020

Signature of District Official: Robert Kesting

Signature of Agent Responsible: X

\*CONDITIONS:

Conditions above must be satisfied no later than

☐ FINAL REPORT OF COMPLIANCE

(If submitted in addition to the CRC and/or ROC, District must receive and review by district officially)

Date:

Signature of District Official:

District, Inc.

Municipal Construction Office, Developer/Owner, District, Other

# Final Report of Compliance

- Issued when the entirety of the project, as approved by the District, has been completed and permanently stabilized.
- Usually issued one to two growing seasons after the issuance of a Report of Compliance – No Conditions.
- Signifies the end of District involvement.
- May also be issued as a prerequisite for bond release by a municipality.



# Final Report of Compliance



Burlington Soil Conservation District  
1971 Jacksonville-Jobstown Rd.  
Columbus, NJ 08022  
Telephone: (609) 267-7410  
Fax: (609) 267-3347



State Soil Conservation  
Committee

## REPORT OF COMPLIANCE

This certifies that the Soil Erosion and Sediment Control measures to the extent indicated comply with the Soil Erosion and Sediment Control Plans as certified by the Soil Conservation District pursuant to Chapter 251, P.L. 1975 as amended, the Soil Erosion and Sediment Control Act (NJSA 15:29 et seq.).

Municipality: Bordentown Twp

Project Name: 14 Hogback Rd

SCD Application No.: 251

Block(s): 100 Lot(s): 101

Street Address: 14 Hogback Rd.

Block(s): Lot(s):

Street Address:

Block(s): Lot(s):

Street Address:

☐ CONDITIONAL COMPLIANCE\* (CRC) ☐ REPORT OF COMPLIANCE - NO CONDITIONS (ROC)

Date:

Signature of District Official: \_\_\_\_\_

Signature of Agent Responsible: \_\_\_\_\_

\*CONDITIONS:

Conditions above must be satisfied no later than \_\_\_\_\_

☒ FINAL REPORT OF COMPLIANCE:

(In whole or in part in addition to the CRC and/or ROC (where and/or authorized by Certificate of Cost)

Date: 1/11/2020

Signature of District Official: Robert Ranting

Distribution:

Municipal Construction Office, Developer/Owner, District, Other

# Discussion

- What potential issues haven't we addressed?
- Are there any specific issues you have encountered?

# Together We Get Good Results

